

NOTES:

1. THE INFORMATION DEPICTED ON THIS PLAN HAS BEEN COMPILED FROM THE TOWN OF BEDFORD GIS SYSTEM
2. LAND USE WITHIN 300 FEET OF THE SUBJECT PROPERTY IS PRIMARILY SINGLE FAMILY DWELLINGS AND A MONTESSORI SCHOOL

269 & 277 GREAT ROAD ASSESSORS MAP 64 LOTS 83 A & 84 SITE DEVELOPMENT PLAN SET

LOCATED IN BEDFORD, MA

APRIL 28, 2025

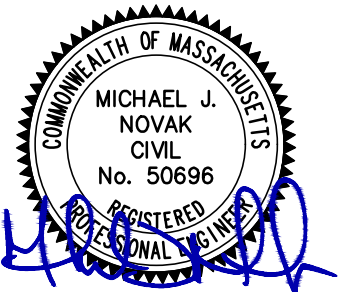
REVISED: MAY 14, 2025, AUGUST 25, 2025,
AND AUGUST 29, 2025

PREPARED BY:



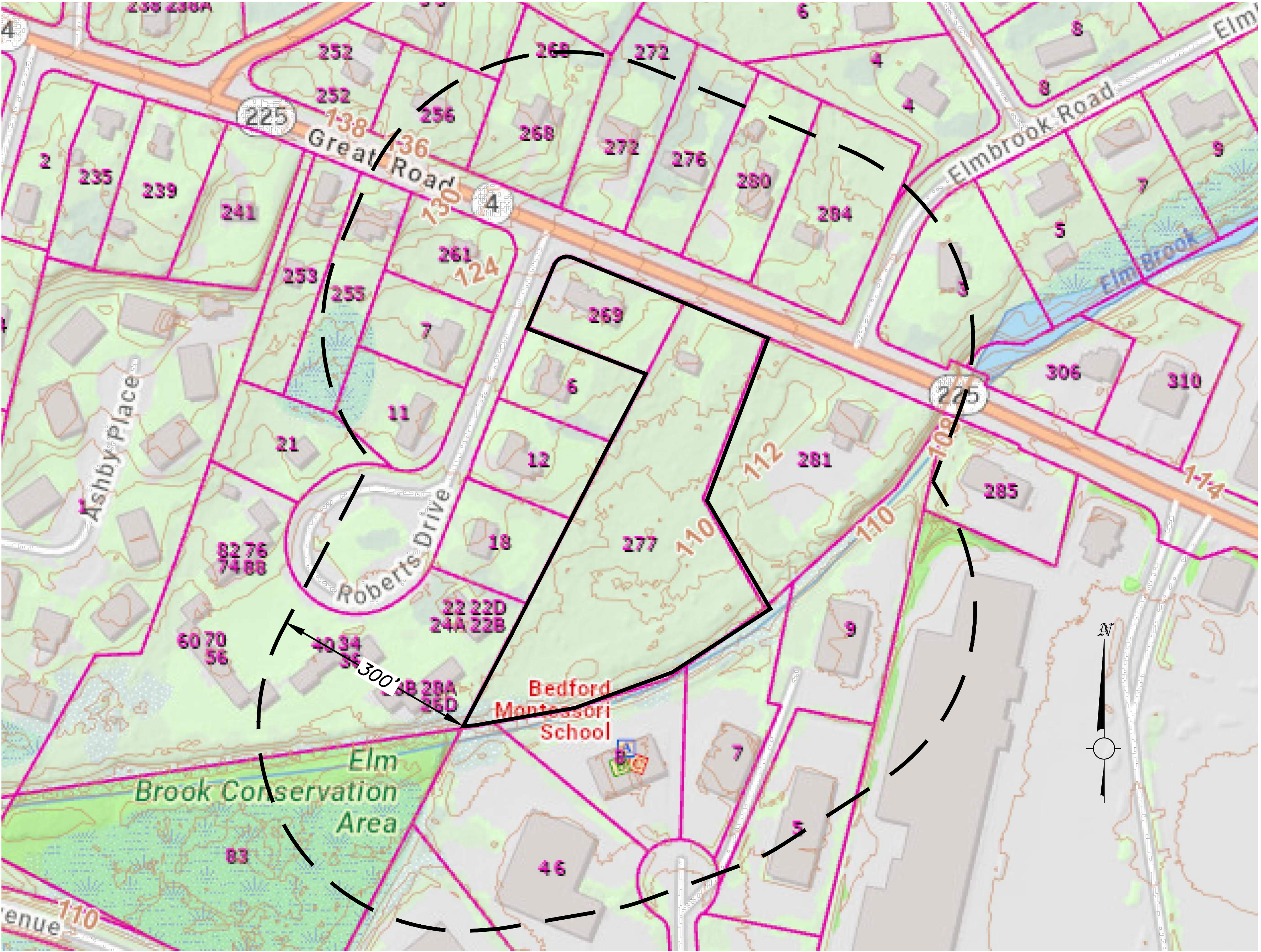
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SHEET INDEX

- C-1 COVER SHEET
- C-2 RECORD CONDITIONS PLAN - 1 OF 2
- C-3 RECORD CONDITIONS PLAN - 2 OF 2
- C-4 CONSTRUCTION MANAGEMENT PLAN
- C-5 SITE LAYOUT PLAN
- C-6 SITE GRADING AND DRAINAGE
- C-7 CUT / FILL EXHIBIT
- C-8 SITE UTILITY
- C-9 DETAILS



LOCUS CONTEXT MAP
(SCALE 1"=100')

PHASE I CONSTRUCTION SEQUENCE

1. INSTALL ALL EROSIONS CONTROL MEASURES AS REQUIRED.
2. MEET WITH BEDFORD PLANNING STAFF, SITE CONTRACTOR, AND EROSION CONTROL MONITOR AT PRE-CONSTRUCTION MEETINGS TO REVIEW EROSION CONTROL MEASURES AND SITE PLAN REVIEW CONDITIONS.
3. INSTALL TEMPORARY, HIGH VISIBILITY, ORANGE CONSTRUCTION FENCING AROUND ENTIRE PROPERTY TO DELINEATE WORK AREA. TEMPORARY CONSTRUCTION FENCING WILL BE INSTALLED BEHIND EROSION CONTROL MEASURES TO ENSURE ADEQUATE ACCESS TO THE EROSION CONTROLS FOR INSPECTION, MAINTENANCE, AND REPAIR AS NEEDED FOR THE DURATION OF CONSTRUCTION.
4. REMOVE AND DISPOSE OF ALL TRASH AND DEBRIS FROM SITE.
5. REMOVE ALL SPECIFIED TREES AND STUMPS.
6. TEST REMAINING SOIL FOR CONTAMINANTS AND PLANTING SUITABILITY.
7. DRESS THE TEMPORARY STAGING AND PARKING AREAS ON SITE WITH CRUSHED STONE.

PHASE II CONSTRUCTION SEQUENCE

1. EXCAVATE BASEMENT AREAS TO BOTTOM OF FOOTING. STOCKPILE MATERIAL FOR BACKFILL AND HAUL REMAINDER OF MATERIAL OFF SITE.
2. FURNISH AND INSTALL BASEMENT FOOTINGS AND FOUNDATION WALLS.
3. WATERPROOF, INSULATE AND BACKFILL BASEMENT FOOTINGS AND FOUNDATION WALLS
4. EXCAVATE FOR AND INSTALL PERIMETER FOOTINGS AND FOUNDATION FROST WALLS AND INTERIOR FOOTINGS. WATERPROOF, INSULATE AND BACKFILL THESE AREAS.
5. EXCAVATE AND BACKFILL ALL NECESSARY TRENCHES IN ORDER TO FURNISH AND INSTALL ALL UNDERGROUND PLUMBING, SECONDARY ELECTRICAL, ETC.
6. EXCAVATE FOR AND CONSTRUCT INFILTRATION SYSTEM(S).
7. FROM THIS POINT ON, THE VERTICAL CONSTRUCTION CONTINUES IN THE SAME CONVENTIONAL MANNER AS ANY MAJOR URBAN DEVELOPMENT PROJECT.

PHASE III CONSTRUCTION SEQUENCE

1. TILL SUBSOIL OR SCARIFY WITH EXCAVATOR BUCKET TEETH TO ENSURE FRIABLE SOIL PLANTING MEDIUM BENEATH TOPSOIL.
2. FURNISH AND SPREAD APPROVED TOPSOIL. FROM SUB GRADE TO FINISH GRADE PER TOPSOIL SPECIFICATIONS ON APPROVED LANDSCAPE PLANS. TOPSOIL TO BE TESTED FOR LOAMY SAND TEXTURE AND 5-8% ORGANIC CONTENT
3. FURNISH, DELIVER AND INSTALL ALL PLANT MATERIAL PER APPROVED DESIGN DOCUMENTS. PROJECT WETLAND SCIENTIST AND/OR LANDSCAPE ARCHITECT SHALL INSPECT PLANTS PRIOR TO INSTALLATION, AND OVERSEE SITING AND INSTALLATION OF ALL PLANTS.
4. AT THE TIME OF INSTALLATION, ALL PLANTS TO RECEIVE A DEEP WATERING.
5. CLEANUP AND DEMOBILIZE.
6. UPON SUCCESSFUL SEED GERMINATION AND SOIL STABILIZATION, REMOVE EROSION CONTROLS.

CONSTRUCTION AND TRAFFIC MANAGEMENT LOGISTICS

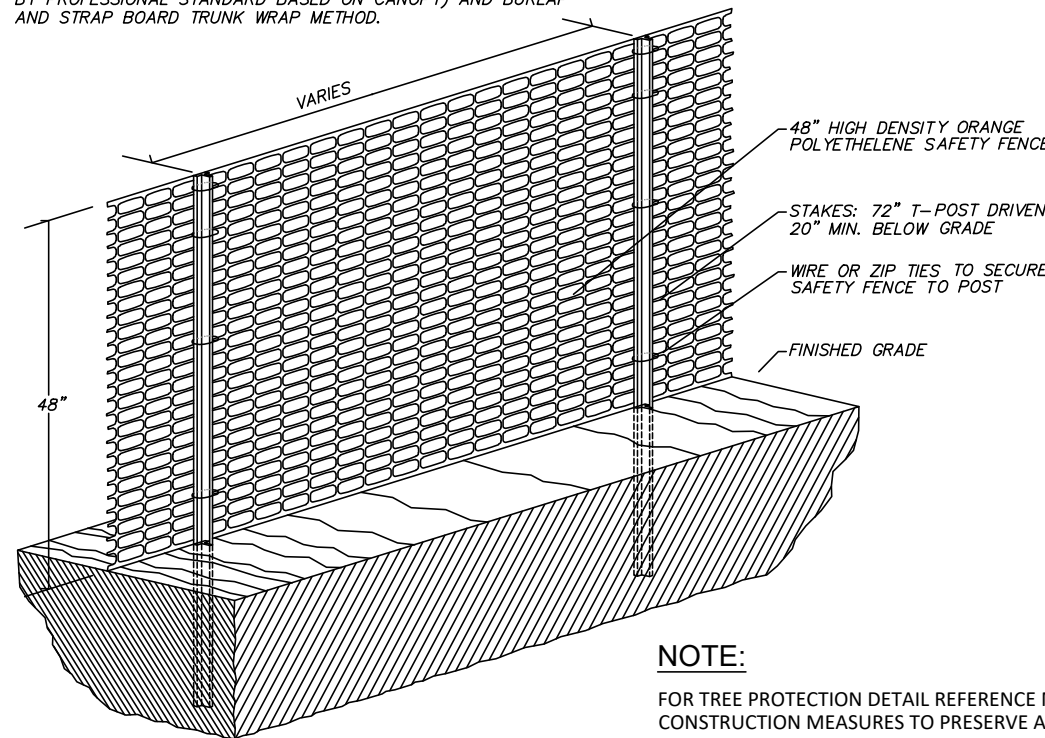
1. SIDEWALKS ALONG BUILDING FRONTAGE TO BE CLOSED UNTIL VERTICAL CONSTRUCTION IS SUBSTANTIALLY COMPLETED.
2. PEDESTRIAN TRAFFIC WILL BE DIVERTED TO THE ADJACENT SIDE OF THE ROAD.
3. FURNISH AND INSTALL ROADWAY MARKINGS DEPICTING THE LIMITS OF THE SIDEWALKS ACROSS THE ROAD.

ADDITIONAL CONSTRUCTION NOTES:

- TRASH REMOVAL: THE 30 YARD DUMPSTER THAT IS REQUIRED FOR GENERAL CONSTRUCTION WASTE IS APPROXIMATELY 22' X 8'. IT WILL BE SCREENED BY SIX FOOT TALL TEMPORARY FENCING AND SCRIM.
- TEMPORARY RESTROOM FACILITIES: TEMPORARY RESTROOM FACILITIES WILL BE LOCATED BEHIND THE DUMSTER AREA WITHIN THE CONSTRUCTION ZONE SO THAT THEY WILL BE SCREENED FROM THE ROAD, THERE WILL BE A TOTAL OF TWO TO FOUR RESTROOM COMPARTMENTS REQUIRED FOR THE PROJECT DURATION.
- SNOW MANAGEMENT: DURING CONSTRUCTION SNOW WILL BE REMOVED IN ITS ENTIRETY ON THE CONSTRUCTION SIDE OF THE FENCE BY THE GENERAL CONTRACTOR AND HAULED OFF SITE AS REQUIRED. THE TOWN OF BEDFORD WILL REMOVE SNOW ON THE PUBLIC SIDE OF THE FENCE AS IT NORMALLY WOULD. ANY RESIDUAL SNOW THAT MAY BE IN CONTACT WITH THE PUBLIC SIDE OF THE TEMPORARY FENCING WILL BE REMOVED BY THE GENERAL CONTRACTOR.
- ONCE INFILTRATION SYSTEMS ARE IN PLACE NO PARKING OR MATERIAL STORAGE IS PERMITTED ABOVE THEM.
- NO STORMWATER RUNOFF SHOULD BE DISCHARGED TO THE ON-SITE STORMWATER MANAGEMENT SYSTEM UNTIL THE SITE IS FULLY STABILIZED; WITH THE EXCEPTION OF ROOF LEADERS THAT CAN BE CONNECTED ONCE ABLE TO BE INSTALLED.
- THE ON-SITE INFILTRATION SHOULD BE BLOCKED FROM VEHICLE TRAFFIC DURING CONSTRUCTION UNTIL THE SITE IS FULLY STABILIZED.
- NO ONSITE REFUELING OF CONSTRUCTION VEHICLES OR EQUIPMENT.
- DUST CONTROL LIMITED TO POTABLE WATER. CALCIUM CHLORIDE SHALL NOT BE USED FOR DUST CONTROL.
- SEGMENTS OF THE ROAD ON WHICH ANY SEDIMENT IS DEPOSITED SHALL BE SWEEPED WITHIN 24 HOURS OR MORE FREQUENTLY AS REQUIRED OR DIRECTED BY TOWN STAFF.
- ANY SEDIMENT OR DEBRIS DISCHARGED TO ANY TOWN DRAINAGE STRUCTURE OR DRAINLINE SHALL BE REMOVED WITHIN 24 HOURS.

NOTE:

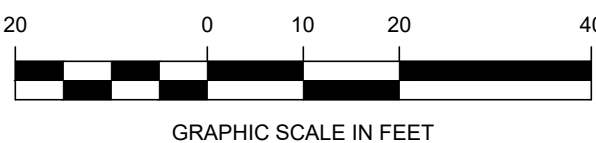
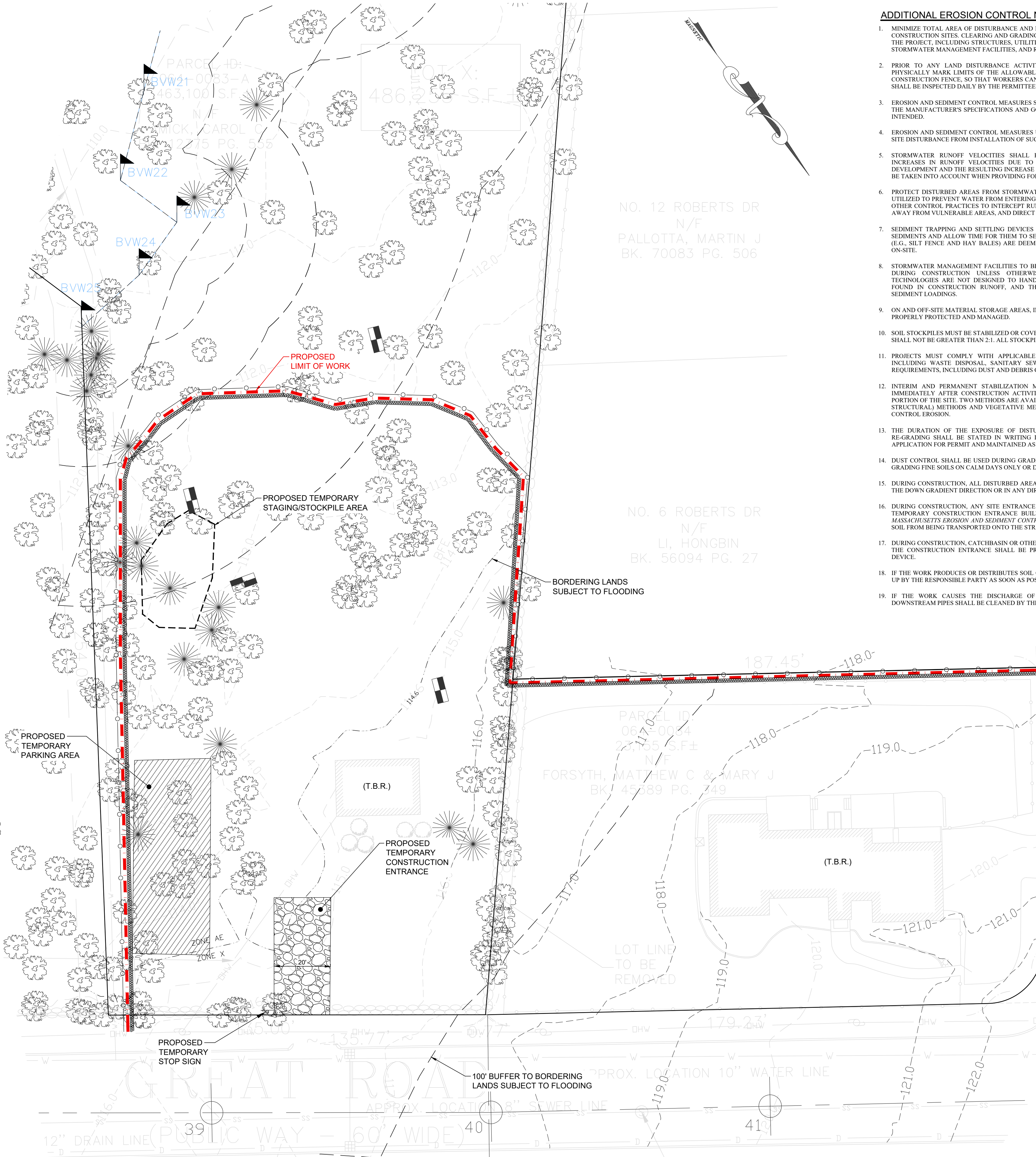
1. EXISTING TREES TO BE SAVED SHALL BE PROTECTED WITH GRANGE CONSTRUCTION FENCE (OFF-SET FROM THE TREE TRUNK BY PROFESSIONAL STANDARD BASED ON CANOPY) AND BURLAP AND STRAP BOARD TRUNK WRAP METHOD.



NOTE:

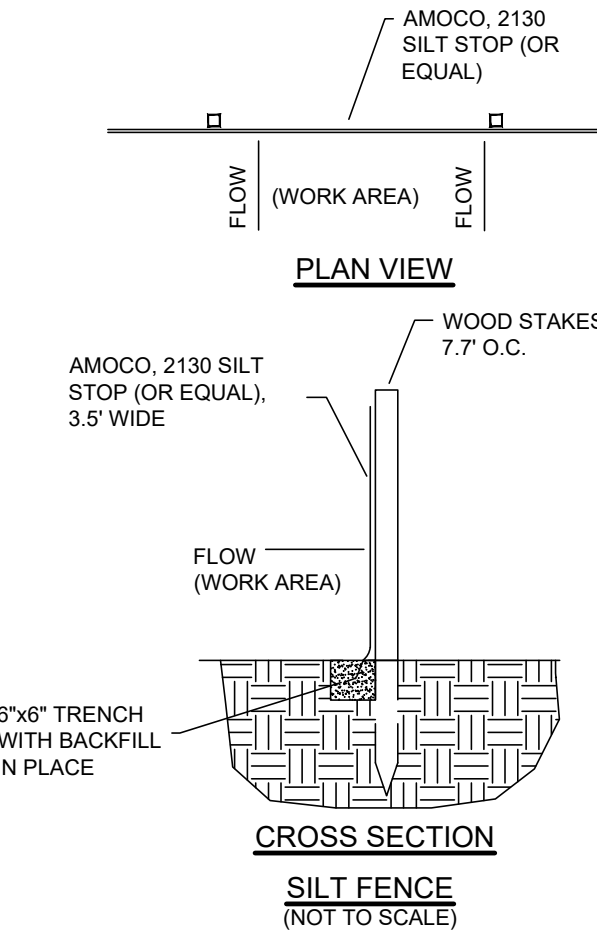
FOR TREE PROTECTION DETAIL REFERENCE MASS HIGHWAY CONSTRUCTION MEASURES TO PRESERVE AND PROTECT TREES

CONSTRUCTION FENCE/TREE PROTECTION
(NOT TO SCALE)



ADDITIONAL EROSION CONTROL NOTES:

1. MINIMIZE TOTAL AREA OF DISTURBANCE AND MINIMIZE UNNECESSARY CLEARING AND GRADING FROM ALL CONSTRUCTION SITES. CLEARING AND GRADING ALL ONLY BE PERFORMED WITHIN AREAS NEEDED TO BUILD THE PROJECT, INCLUDING STRUCTURES, UTILITIES, ROADS, RECREATIONAL AMENITIES, POST-CONSTRUCTION STORMWATER MANAGEMENT FACILITIES, AND RELATED INFRASTRUCTURE.
2. PRIOR TO ANY LAND DISTURBANCE ACTIVITIES COMMENCING ON THE SITE, THE DEVELOPER SHALL PHYSICALLY MARK LIMITS OF THE ALLOWABLE DISTURBANCE ON THE SITE WITH TAPE, SIGNS, OR ORANGE CONSTRUCTION FENCE, SO THAT WORKERS CAN SEE THE AREAS TO BE PROTECTED. THE PHYSICAL MARKERS SHALL BE INSPECTED DAILY BY THE PERMITTEE.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES TO ENSURE THEY PERFORM AS INTENDED.
4. EROSION AND SEDIMENT CONTROL MEASURES USED SHALL BE CHOSEN BASED ON THE GOAL OF MINIMIZING SITE DISTURBANCE FROM INSTALLATION OF SUCH MEASURES.
5. STORMWATER RUNOFF VELOCITIES SHALL BE MINIMIZED TO THE GREATEST EXTENT PRACTICABLE. INCREASES IN RUNOFF VELOCITIES DUE TO THE REMOVAL OF EXISTING VEGETATIVE COVER DURING DEVELOPMENT AND THE RESULTING INCREASE IN IMPERMEABLE SURFACE AREA AFTER DEVELOPMENT MUST BE TAKEN INTO ACCOUNT WHEN PROVIDING FOR EROSION CONTROL.
6. PROTECT DISTURBED AREAS FROM STORMWATER RUNOFF. BEST MANAGEMENT PRACTICES (BMPs) CAN BE UTILIZED TO PREVENT WATER FROM ENTERING AND RUNNING OVER THE DISTURBED AREA. DIVERSIONS AND OTHER CONTROL PRACTICES TO INTERCEPT RUNOFF FROM HIGHER WATERSHED AREAS, STORE OR DIVERT IT AWAY FROM VULNERABLE AREAS, AND DIRECT IT TOWARD STABILIZED OUTLETS MAY BE USED.
7. SEDIMENT TRAPPING AND SETTLING DEVICES SHALL BE EMPLOYED TO TRAP AND/OR RETAIN SUSPENDED SEDIMENTS AND ALLOW TIME FOR THEM TO SETTLE OUT IN CASES WHERE PERIMETER SEDIMENT CONTROLS (E.G. SILT FENCE AND HAY BALES) ARE DEEMED TO BE INEFFECTIVE IN TRAPPING SUSPENDED SEDIMENTS ON-SITE.
8. STORMWATER MANAGEMENT FACILITIES TO BE USED AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE STORMWATER AGENCY. MANY TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS MUST BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
9. ON AND OFF-SITE MATERIAL STORAGE AREAS, INCLUDING CONSTRUCTION AND WASTE MATERIALS, SHALL BE PROPERLY PROTECTED AND MANAGED.
10. SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
11. PROJECTS MUST COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY SEWER OR SEPTIC SYSTEM REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST AND DEBRIS CONTROL.
12. INTERIM AND PERMANENT STABILIZATION MEASURES SHALL BE INSTITUTED ON A DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED ON THAT PORTION OF THE SITE. TWO METHODS ARE AVAILABLE FOR STABILIZING DISTURBED AREAS: MECHANICAL (OR STRUCTURAL) METHODS AND VEGETATIVE METHODS. IN SOME CASES, BOTH ARE COMBINED IN ORDER TO CONTROL EROSION.
13. THE DURATION OF THE EXPOSURE OF DISTURBED AREAS DUE TO REMOVAL OF VEGETATION AND/OR RE-GRADING SHALL BE STATED IN WRITING IN A SCHEDULE THAT WILL BE PREPARED AT THE TIME OF APPLICATION FOR PERMIT AND MAINTAINED AS PART OF THE PROJECT RECORDS.
14. DUST CONTROL SHALL BE USED DURING GRADING OPERATIONS. DUST CONTROL METHODS MAY CONSIST OF GRADING FINE SOILS ON CALM DAYS ONLY OR DAMPENING THE GROUND WITH WATER.
15. DURING CONSTRUCTION, ALL DISTURBED AREAS SHALL BE ENCLOSED WITH EROSION CONTROL MEASURES THE DOWN GRADIENT DIRECTION OR IN ANY DIRECTION TO WHICH EROSION CAN OCCUR.
16. DURING CONSTRUCTION, ANY SITE ENTRANCE FROM A PAVED, PUBLIC WAY SHALL BE IMPROVED WITH A TEMPORARY CONSTRUCTION ENTRANCE BUILT IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS TO PREVENT SOIL FROM BEING TRANSPORTED ONTO THE STREET.
17. DURING CONSTRUCTION, CATCHBASIN OR OTHER DRAINAGE SYSTEM INLET STRUCTURES DOWN GRADIENT OF THE CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH SILT SACKS OR OTHER INLET PROTECTION DEVICE.
18. IF THE WORK PRODUCES OR DISTRIBUTES SOIL ON PUBLIC OR PRIVATE WAYS, THAT SOIL SHALL BE CLEANED UP BY THE RESPONSIBLE PARTY AS SOON AS POSSIBLE BUT IN ALL CASES WITHIN TWENTY-FOUR (24) HOURS.
19. IF THE WORK CAUSES THE DISCHARGE OF SOIL TO TOWN DRAINAGE STRUCTURES, ALL AFFECTED DOWNSTREAM PIPES SHALL BE CLEANED BY THE RESPONSIBLE PARTY WITHIN THREE (3) DAYS.



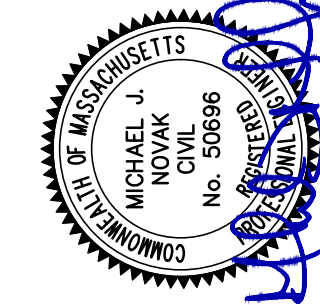
LEGEND	DESCRIPTION
	PROPOSED LIMIT OF WORK LINE
	PROPOSED SILT FENCE
	PROPOSED TEMPORARY CONSTRUCTION ENTRANCE
	PROPOSED TEMPORARY CONSTRUCTION PARKING
	PROPOSED TEMPORARY CONSTRUCTION FENCING

NOTE:

- ALL TREES WITHIN LIMIT OF WORK TO BE REMOVED.

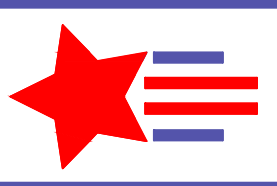
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CONSTRUCTION MANAGEMENT PLAN

LOCATED IN
BEDFORD, MA
(MIDDLESEX COUNTY)

PREPARED FOR

SA DEVELOPMENT

SHEET
C-4

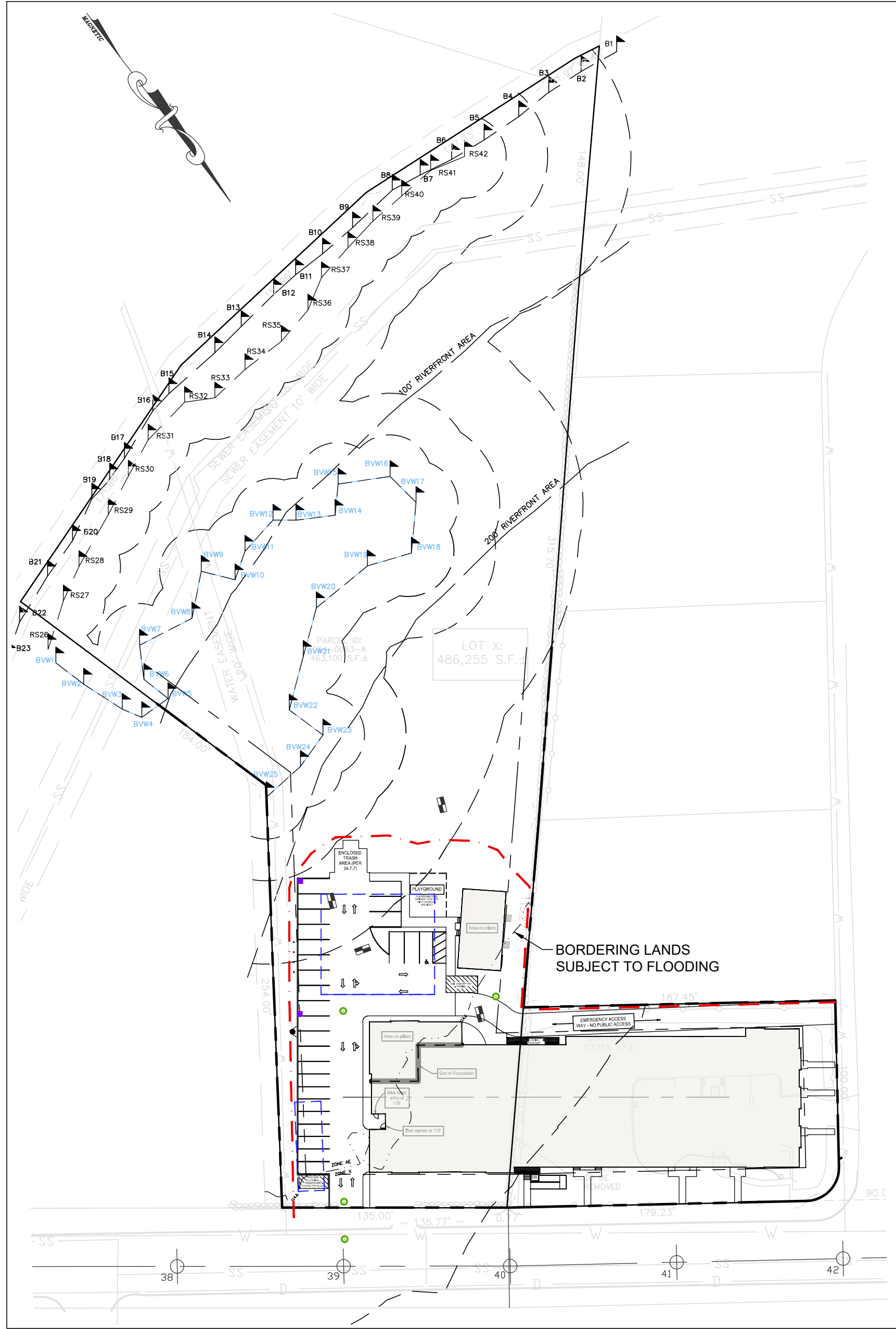
277 GREAT ROAD
BEDFORD, MA

REVISIONS	DATE	BY	DESCRIPTION
	5-14-2025	MVC	REVISIONS PER COMMENTS
	8-25-2025	MVC	REVISIONS PER COMMENTS
	8-29-2025	MVC	REVISIONS PER COMMENTS

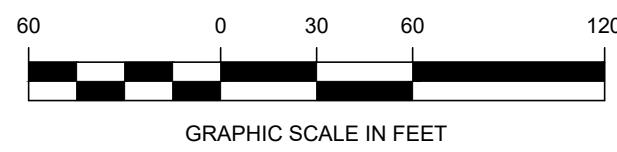
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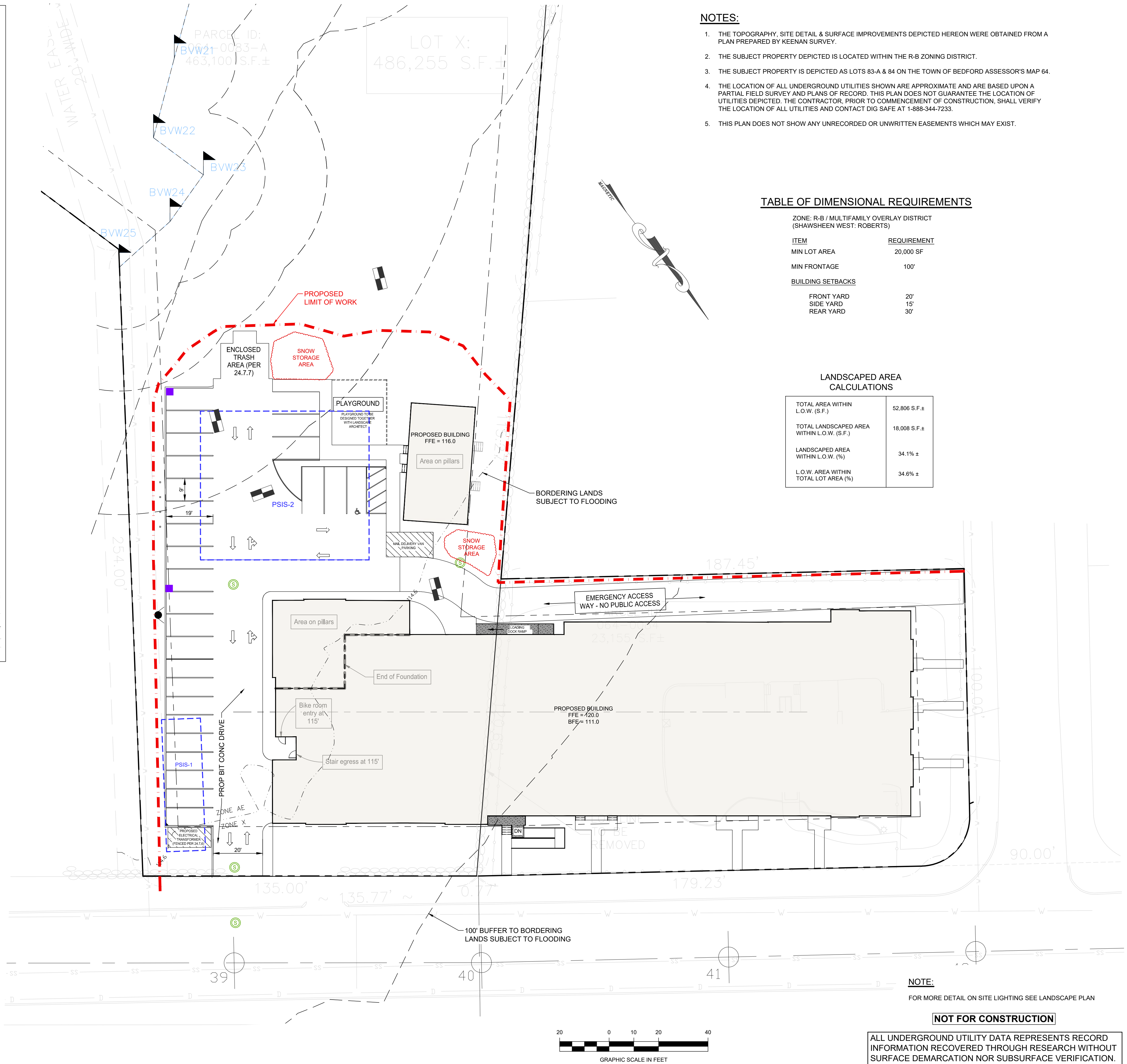
DATE: 4-28-2025



SITE OVERVIEW



LEGEND	DESCRIPTION
	PROPOSED LIMIT OF WORK LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED VERTICAL GRANITE CURB
	PROPOSED CATCH BASIN (PCB)
	PROPOSED WATER QUALITY INLET (PWQI)
	PROPOSED DRAIN MANHOLE (PDMH)
	PROPOSED FIRE HYDRANT
	PROPOSED SEWER MANHOLE (PSMH)



NOTES:

1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM A PLAN PREPARED BY KEENAN SURVEY.
2. THE SUBJECT PROPERTY DEPICTED IS LOCATED WITHIN THE R-B ZONING DISTRICT.
3. THE SUBJECT PROPERTY IS DEPICTED AS LOTS 83-A & 84 ON THE TOWN OF BEDFORD ASSESSOR'S MAP 64.
4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND PLANS OF RECORD. THIS PLAN DOES NOT GUARANTEE THE LOCATION OF UTILITIES DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

TABLE OF DIMENSIONAL REQUIREMENTS

ZONE: R-B / MULTIFAMILY OVERLAY DISTRICT
(SHAWSHEEN WEST, ROBERTS)

ITEM	REQUIREMENT
MIN LOT AREA	20,000 SF
MIN FRONTAGE	100'
BUILDING SETBACKS	
FRONT YARD	20'
SIDE YARD	15'
REAR YARD	30'

LANDSCAPED AREA CALCULATIONS

TOTAL AREA WITHIN L.O.W. (S.F.)	52,806 S.F. ±
TOTAL LANDSCAPED AREA WITHIN L.O.W. (S.F.)	18,008 S.F. ±
LANDSCAPED AREA WITHIN L.O.W. (%)	34.1% ±
L.O.W. AREA WITHIN TOTAL LOT AREA (%)	34.6% ±

NOTE:

FOR MORE DETAIL ON SITE LIGHTING SEE LANDSCAPE PLAN

NOT FOR CONSTRUCTION

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

277 GREAT ROAD
BEDFORD, MA

DATE: 4-28-2025

DRAWN BY: MVC

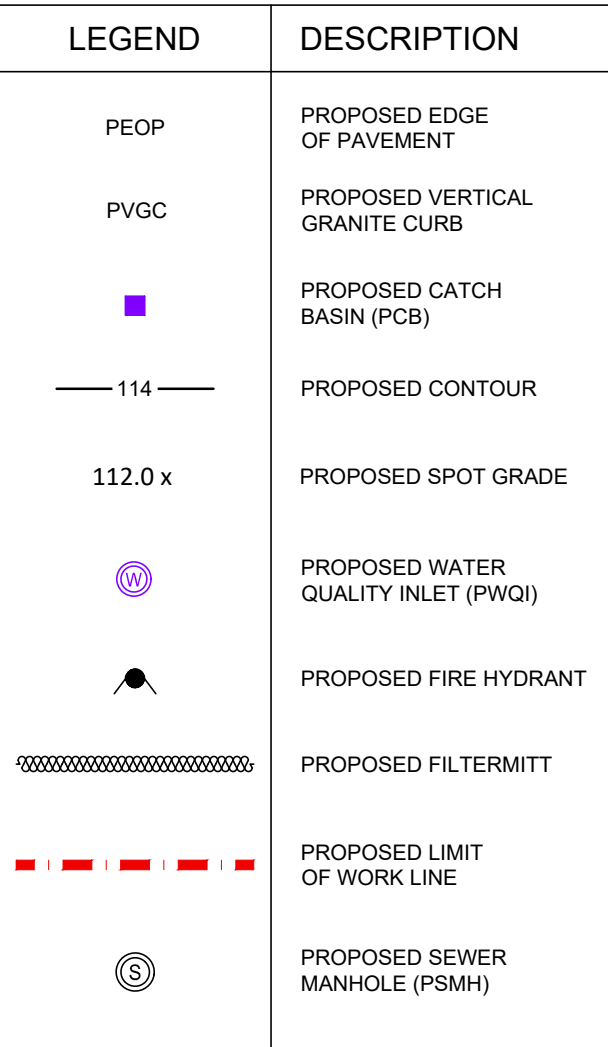
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REVISIONS	DESCRIPTION	DATE	BY
5-14-2025	MVC	5-14-2025	MVC
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SITE - LAYOUT PLAN
LOCATED IN
BEDFORD, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SA DEVELOPMENT

SHEET
C-5



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 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.
 6. FOR ADDITIONAL HARDSCAPE DETAILS AND INFORMATION SEE LANDSCAPE PLAN.
 7. FOR ADDITIONAL LIGHTING DETAILS AND INFORMATION SEE LANDSCAPE PLAN.

1. EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
2. ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
3. IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL MATCH THE FINISH GRADE OF THE TOPSOIL. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA.
5. TEMPORARY SILT SACKS SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION, TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM.
6. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE PER DEMOLITION PLAN.
7. ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEMS, AND WATER QUALITY STRUCTURES ARE TO BE CLEANED TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS PRIOR TO FINAL APPROVAL.
8. IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
9. ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
10. ALL STORM DRAIN MANHOLES SHALL HAVE TRAFFIC BEARING RING & COVERS.
11. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES IF N.P.D.E.S. PERMIT IS APPLICABLE.
12. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
13. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V.
14. ALL DRAINAGE SYSTEM COMPONENTS SHALL CONFORM TO LOCAL REQUIREMENTS.
15. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MUST BE FILED WITH THE NPDES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ZONE: R-B / MULTIFAMILY OVERLAY DISTRICT
(SHAWSHEEN WEST: ROBERTS)

<u>ITEM</u>	<u>REQUIREMENT</u>
MIN LOT AREA	20,000 SF
MIN FRONTAGE	100'
<u>BUILDING SETBACKS</u>	
FRONT YARD	20'
SIDE YARD	15'
REAR YARD	30'

COMPENSATORY FLOOD STORAGE / CUT / FILL CALCS

ELEV	CUT(CF)	FILL(CF)	TOTAL(CF)
112-113	377	267	-110
113-114	1860	693	-1167
114-114.6	1862	1220	-642
TOTAL	4099	2180	-1919
	(CF)	CUBIC FEET	

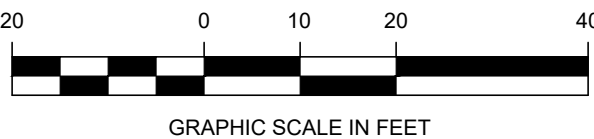
TOTAL DISTURBED AREA WITHIN BORDERING LANDS
SUBJECT TO FLOODING = 19,803 S.F.± (45.5% OF AN ACRE).

ALL TREES WITHIN LIMIT OF WORK TO BE REMOVED

NOT FOR CONSTRUCTION

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD
INFORMATION RECOVERED THROUGH RESEARCH WITHOUT
SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

- TO ENSURE NO ADDITIONAL ENCROACHMENT OCCURS DURING CONSTRUCTION, THE LIMIT OF WORK SHALL BE SURVEY STAKED AND CLEARLY DELINEATED.





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	(CF)	CUBIC FEET	

TOTAL DISTURBED AREA WITHIN BORDERING LANDS
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LEGEND	DESCRIPTION
	PROPOSED CUT
	PROPOSED FILL
	PROPOSED EDGE OF PAVEMENT
	PROPOSED VERTICAL GRANITE CURB
	PROPOSED CATCH BASIN (PCB)
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED WATER QUALITY INLET (PWOI)
	PROPOSED FIRE HYDRANT
	PROPOSED FILTERMITT
	PROPOSED LIMIT OF WORK LINE
	PROPOSED SEWER MANHOLE (PSMH)

- NOTE:
- TO ENSURE NO ADDITIONAL ENCROACHMENT OCCURS DURING CONSTRUCTION, THE LIMIT OF WORK SHALL BE SURVEY STAKED AND CLEARLY DELINEATED.

NOT FOR CONSTRUCTION

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277 GREAT ROAD
BEDFORD, MA

DRAWN BY: MVC
CHECKED BY: MIN

DATE: 4-28-2025

REVISIONS	DATE	BY	DESCRIPTION
	5-14-2025	MVC	REVISIONS PER COMMENTS
	8-25-2025	MVC	REVISIONS PER COMMENTS
	8-29-2025	MVC	REVISIONS PER COMMENTS

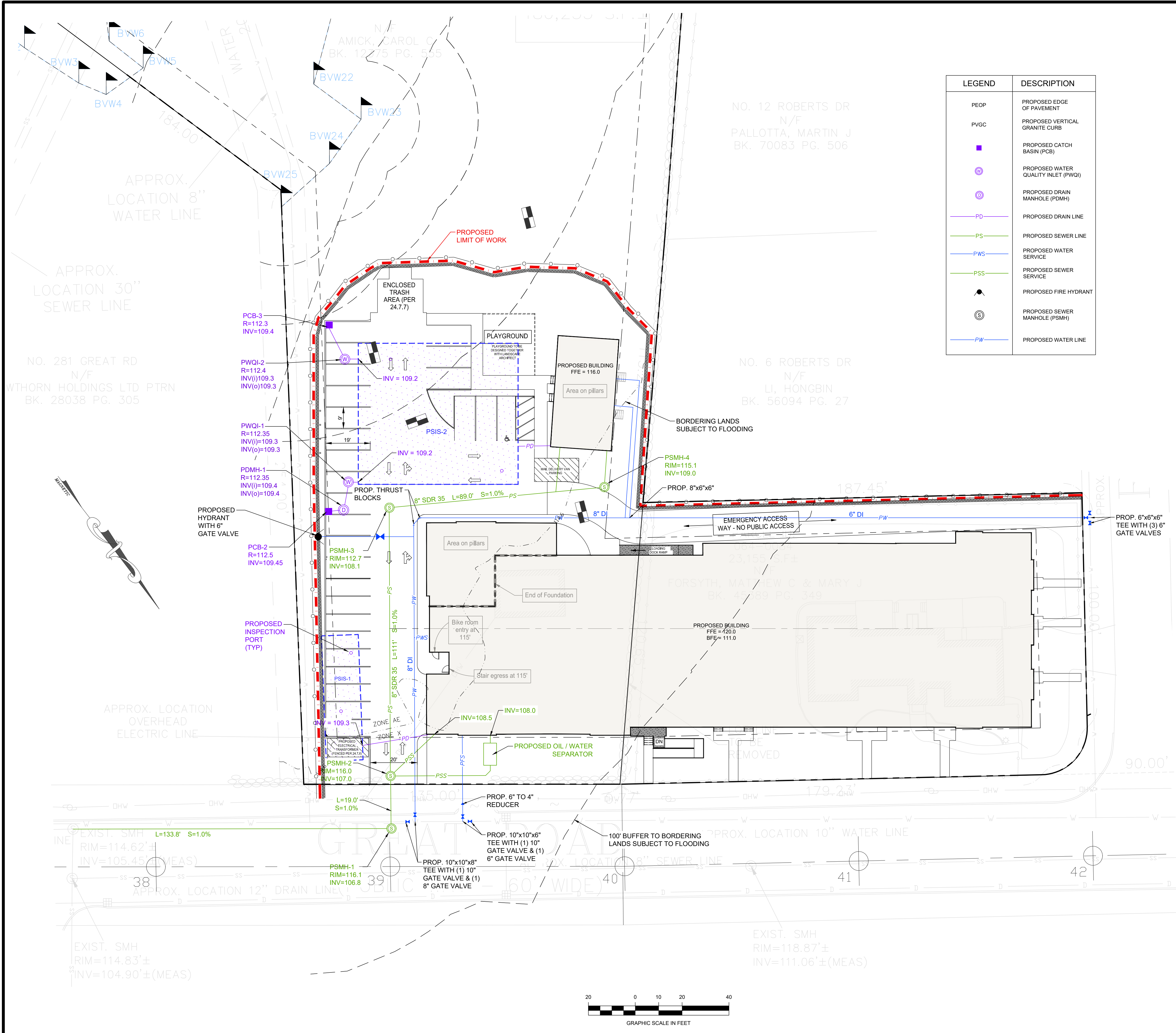
PATRIOT Engineering

PO BOX 362
LEXINGTON, MASSACHUSETTS 02420
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COMPENSATORY FLOOD STORAGE
CUT / FILL EXHIBIT

LOCATED IN
BEDFORD, MA
(MIDDLESEX COUNTY)
PREPARED FOR
SA DEVELOPMENT

SHEET
C-7



- NOTES:**
1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM A PLAN PREPARED BY KEENAN SURVEY.
 2. THE SUBJECT PROPERTY DEPICTED IS LOCATED WITHIN THE R-B ZONING DISTRICT.
 3. THE SUBJECT PROPERTY IS DEPICTED AS LOTS 83-A & 84 ON THE TOWN OF BEDFORD ASSESSOR'S MAP 64.
 4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND PLANS OF RECORD. THIS PLAN DOES NOT GUARANTEE THE LOCATION OF UTILITIES DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST.

- UTILITY NOTES:**
1. THE LATEST STANDARDS OF THE LOCAL MUNICIPALITY SHALL BE FOLLOWED WHEN INSTALLING ANY STORM DRAIN WORK. STORM DRAIN WORK WILL BE INSPECTED BY THE LOCAL GOVERNING AUTHORITY PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
 3. ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
 4. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
 5. THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:
 - DRAIN- PVC (SDR 35) OR APPROVED EQUAL, ASTM D2321 (UNLESS OTHERWISE SPECIFIED ON PLAN)
 6. BEFORE UTILITY WORK BEGINS, THE CONTRACTOR WILL COORDINATE WITH THE LOCAL MUNICIPALITY FOR THE APPROPRIATE PERMIT AND INSPECTION FEES.
 7. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
 8. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE THE INSTALLATION OF PROPOSED UTILITIES.
 9. CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINES.
 10. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
 11. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 5'-0" COVER AND A MAXIMUM OF 8'-0" COVER ON ALL WATERLINES.
 12. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE BETWEEN THE PIPES. WHERE THE WATERLINE IS LESS THAN THE 18" VERTICAL CLEARANCE AND MEETING 10' HORIZONTAL CLEARANCE CANNOT BE MET, THE WATER MUST BE ENCASED IN CONCRETE.
 13. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER, SEWER, GAS AND ELECTRICAL AND TELECOMMUNICATIONS LINES.
 14. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
 15. DRAWINGS MAY NOT NECESSARILY SHOW ALL EXISTING UTILITIES.

- ADDITIONAL UTILITY NOTES:**
1. ALL SEWER MAINS SHALL BE 8" SDR 35 PVC, UNLESS OTHERWISE NOTED.
 2. ALL PROPOSED SEWER SERVICES SHALL BE 6" SDR 35 PVC AND AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED.
 3. ALL WATER MAINS SHALL BE 8" DI, UNLESS OTHERWISE NOTED.
 4. ALL PROPOSED WATER SERVICES SHALL BE 1.5" COPPER, UNLESS OTHERWISE NOTED.
 5. SEPARATION OF SEWER AND WATER LINES SHALL BE 18 INCHES (18") VERTICALLY OR 10 FEET (10') HORIZONTALLY, IF THIS CANNOT BE ACHIEVED THE SEWER SHALL BE ENCASED IN CONCRETE.
 6. ALL STORM DRAIN MAINS AND LATERALS SHALL BE 15" SDR 35. (ROOF AND YARD DRAIN CONNECTIONS SHALL BE 6" SDR 35 OR APPROVED EQUAL).
 7. ALL CABLE/POWER UTILITIES TO BE INSTALLED UNDERGROUND ONSITE.

CONTRACTOR TO VERIFY BOTH HORIZONTAL AND VERTICAL LOCATION OF EXISTING WATER AND SEWER SERVICES. WHEN ABANDONING EXISTING WATER SERVICES THE OLD SERVICE SHALL BE REMOVED BACK TO THE WATER MAIN IN THE STREET. IF THE OLD WATER SERVICE IS CAST IRON, THE EXISTING CORPORATION MAY BE SHUT OFF AND ABANDONED IN PLACE, AND IF THE OLD WATER SERVICE IS DUCTILE IRON THE CORPORATION MUST BE REMOVED AND PLUGGED.

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