

# 277 GREAT RD DEVELOPMENT

277 GREAT RD, BEDFORD - MA 01730

## PROJECT DIRECTORY

OWNER:  
SA DEVELOPMENT

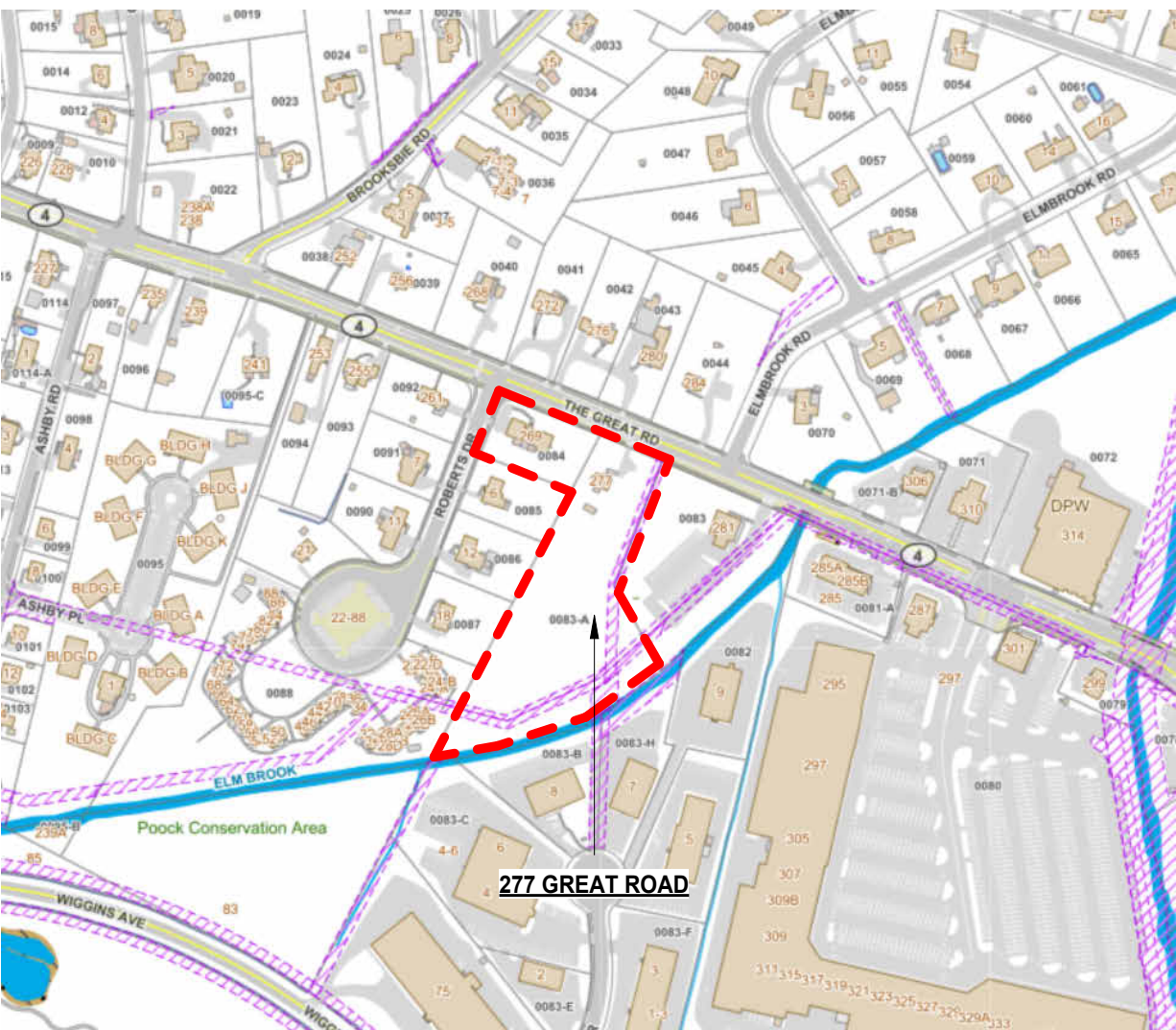
PROFESSIONAL DESIGNER:  
MGD+ LLC  
411 LEXINGTON ST  
NEWTON - MA 02466

ARCHITECT:  
DEREK RUBINOFF  
82 SPRING ST  
WEST ROXBURY - MA 02132

## SHEET LIST

SHEET NUMBER	SHEET NAME
A0.00	COVER PAGE
A0.01	FLOOR AREA CALCULATIONS
A1.00.0	CIVIL SITE PLAN
A1.00.1	SITE PLAN 1-40
A1.00.2	SITE PLAN
A1.01	BASEMENT PLAN
A1.02	FIRST FLOOR PLAN
A1.03	SECOND FLOOR PLAN
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A1.05	ROOF PLAN
A2.01	ELEVATIONS
A2.03	PERSPECTIVE RENDERING
A2.04	AERIAL RENDERING

## LOCATION MAP



MULTIFAMILY HOUSING OVERLAY DISTRICT			
SECTION 24 COMPLIANCE REVIEW			
ZONING DISTRICT: SHAWSHEEN WEST			
ZONING SUBDISTRICT: ROBERTS			
PROPOSED USE	ALLOWED	PROPOSED	REFERENCE SECTION
	MULTIFAMILY HOUSING		24.4.1
DIMENSIONAL STANDARDS			
LOT SIZE	20,000 SF	3.53 ACRES ( 153,766.8 SF)	24.5.1
MAX HEIGHT	35 FT	34.5 FT	24.5.1
NUMBER OF UNITS	52	48	24.5.1
DENSITY	15 / ACRE	13.6 / ACRE	24.5.1
FRONTAGE & SETBACKS			
FRONTAGE	100 FT	243.23 FT	24.5.2
FRONT	20 FT	20 FT	24.5.2
SIDE	15 FT	15 FT	24.5.2
REAR	30 FT	> 30 FT	24.5.2
PARKING & BIKES			
PARKING	N/A	64	24.6.2
BIKES	1 PER UNIT ( 40 UNIT MAX)	40 IN BIKE ROOM / 10 OUTSIDE	24.6.2 / 7.4.4.1
	INTEGRATED INTO BUILDING	YES	24.6.2
UNIVERSAL DESIGN			
	REQUIRE UNITS TO BE ADA ADAPTABLE	ALL UNITS GROUP 1 COMPLIANT ( EXCEPT TOWNHOUSES, WHICH WILL MEET REQUIREMENTS SET FORTH BY 24.7.1)	24.7.1
	IF > 10 UNITS AND 3 OR MORE STORIES, ELEVATOR REQUIRED	ELEVATOR PROVIDED	24.7.1
SUSTAINABLE DESIGN			
	ENERGY EFFICIENT	PASSIVE HOUSE BUILDING	24.7.2
	ENVIRONMENTAL PROTECTION	WILDLIFE STUDY COMPLETED, NO IMPACT. DEVELOPMENT FOCUSED CLOSE TO GREAT RD TO MINIMIZE IMPACT ON EXISTING TREE COVER	24.7.2
	STORMWATER MANAGEMENT	ADJACENT TO WETLANDS, STORMWATER CAPACITY WILL EXCEED REQUIREMENTS OF A STANDARD PROJECT DUE TO CONSERVATION APPROVAL	24.7.2
OUTDOOR SPACE			
	IF > 10 UNITS, COMMON OUTDOOR SPACE REQUIRED	COMMON OUTDOOR SPACE AND PLAYGROUND PROVIDED	24.7.3
PEDESTRIAN AMMENITIES			
	WIDE SIDEWALKS	MIN. 4 FT SIDEWALKS THROUGHOUT	24.7.4
	OUTDOOR SEATING	PROVIDED IN COMMON AMMENITY SPACE	24.7.4
	ADA ACCESSIBILITY	ALL WALKWAYS ADA ACCESSIBLE	24.7.4
VEHICULAR ACCESS			
	SHARED DRIVEWAYS	SHARED DRIVEWAY PROVIDED FOR MAIN BUILDING AND 6 TOWNHOUSES IN REAR	24.7.5
	MINIMIZE PAVED SURFACE	PAVED SURFACES AT MINIMUM ALLOWED TO STILL ALLOW FIRE DEPARTMENT ACCESS & MANUEVERING	24.7.5
MECHANICALS			
	BELOW GRADE MECHANICALS	PROVIDED	24.7.6
	MECHANICALS SCREENED	TRANSFORMER IN FRONT LEFT SCREENED WITH LANDSCAPING	24.7.6
	ROOFTOP SCREENING	HVAC ON ROOF FENCED TO LIMIT VIEW FROM STREET AND ABUTTING PROPERTIES	24.7.6
DUMPSTERS			
	SCREENING / LOCATE IN BUILDING	EXTERIOR TRASH ENCLOSURE SCREENED, THIS IS ONLY FOR OVERFLOW & TOWNHOUSE TRASH. MAIN BUILDING HAS INTERIOR TRASH ROOM WITH COMPACTOR.	24.7.7
STORMWATER MANAGEMENT			
	IF LAND DISTURBANCE IS > 1 ACRE STORMWATER PERMIT REQUIRED	< 1 ACRE OF DISTURBANCE	24.7.8
BUILDING FACADES			
	MATERIALS	THE SAME QUALITY MATERIALS ARE USED THROUGHOUT	24.7.9
	FEATURELESS WALLS PROHIBITED	WINDOWS OR ARCHITECTURAL DETAILS PROVIDED ON ALL WALLS	24.7.9
	PRIMARY BUILDING ENTRY ON PRINCIPAL STREET	MAIN ENTRY FOR FRONT BUILDING ON GREAT RD	24.7.9
	ENTRY LINKED TO PUBLIC SIDEWALK	MAIN ENTRY DISCHARGES ONTO GREAT RD SIDEWALK	24.7.9
	ORIENTATION FOR SOLAR	BUIDLINGS STEP DOWN IN THE REAR (SOUTHERN EXPOSURE), SO NO IMPACT TO SOLAR READY AREAS	24.7.9
PARKING			
	PARKING TO SIDE AND REAR	SURFACE PARKING ALONG LEFT SIDE (23 SPACES)	24.7.10
	NO PARKING IN FRONT	COMPLIES	24.7.10
	INTEGRATED GARAGES	BELOW GRADE GARAGE PROVIDED (41 SPACES)	24.7.10

MGD+  
HABITAT DESIGN

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REGISTERED ARCHITECT  
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No. 20071  
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COMMONWEALTH OF MASSACHUSETTS

Architect stamp

## 277 GREAT RD DEVELOPMENT

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### COVER PAGE

Project number 24-037  
Date 08-20-25  
Drawn by LFC  
Checked by MGD

A0.00

Scale 1 1/2" = 1'-0"



FLOOR AREA CALCULATIONS

PROPOSED FLOOR AREA	
LEVEL	AREA (SF)
MAIN BUILDING	
00 - Basement	18236 SF
01 - First Floor	19699 SF
02 - Second Floor	19579 SF
03 - Attic	9791 SF
	67305 SF
TOWNHOUSE	
01 - First Floor	1147 SF
02 - Second Floor	1306 SF
03 - Attic	908 SF
	3361 SF
TOTAL FLOOR AREA	70666 SF

UNIT TYPES LEGEND

- STUDIO APARTMENT
- 2 BED APARTMENT
- 1 BED APARTMENT
- 3 BED TOWNHOUSE

GENERAL NOTES

BEDFORD PARKING REQUIREMENTS (7.4.2 - PAGE 156):

STANDARD 90 DEG SPACE = 9' x 19'  
PARALLEL SPACE = 8' x 22'

COMPACT 90 DEG SPACE = 7'-6" x 19' (MAX 30%)  
(NOTE - COMPACT SHOULD BE LOCATED ALL IN ONE AREA)

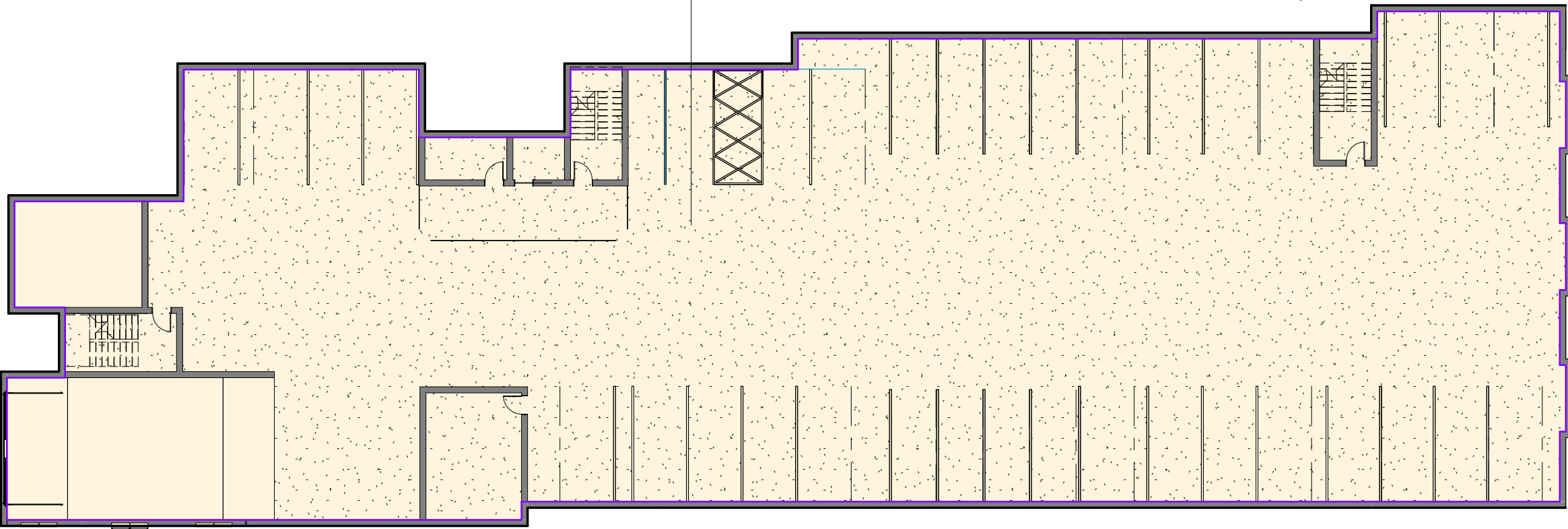
90 DEG SPACE DRIVE AISLE = 24'

1 BIKE SPACE PER 20 PARKING SPACES

Parking Schedule	
Type	Count
7'-6" x 19' - 90 deg - Compact	9
8' x 19' (8' Aisle) - Van ADA	1
9' x 19' - 90 deg	17
	27
7'-6" x 19' - 90 deg - Compact	9
8' x 19' (8' Aisle) - Van ADA	2
9' x 19' - 90 deg	24
	35
	62

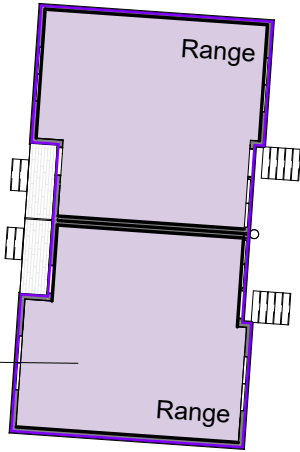
FAR: 76535/130680(3AC.) = 0.58  
PER SECTION 24.5.3 FAR AND LOT COVERAGE ARE NOT RESTRICTED. COMPLIES!

MAIN BUILDING  
18236 SF

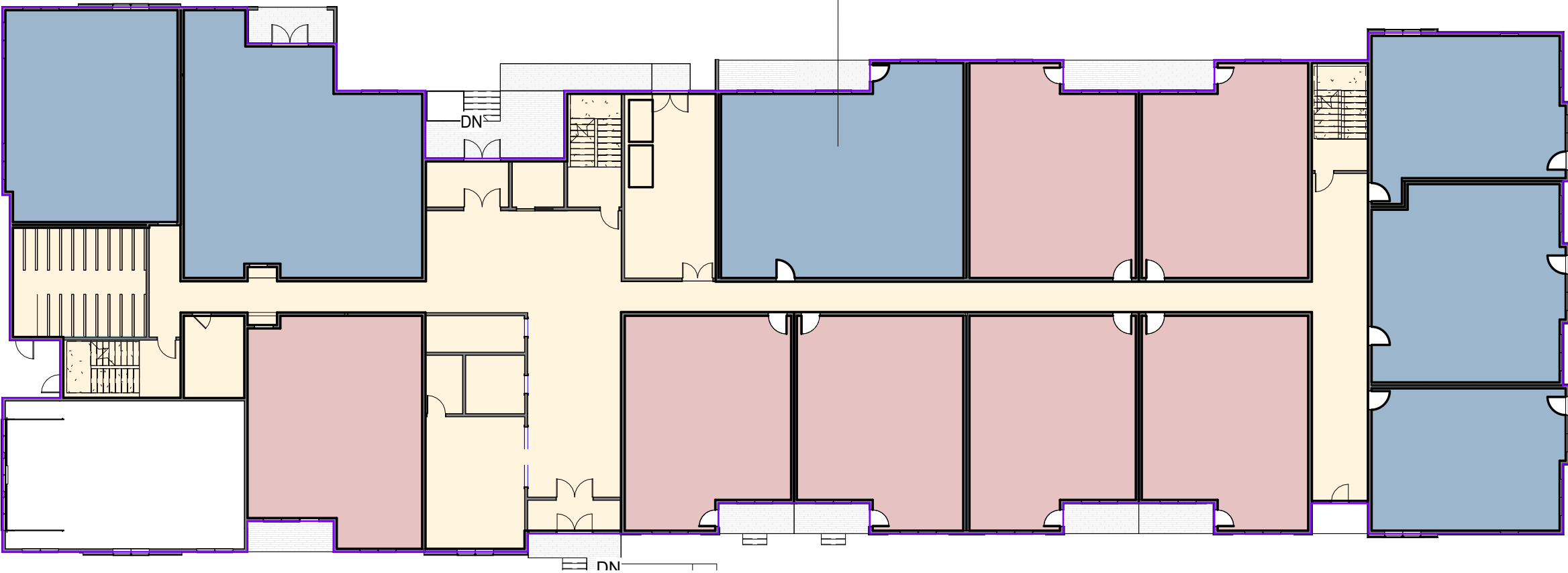


6 00 - Basement - Proposed Area  
3/64" = 1'-0"

TOWNHOUSE  
1147 SF

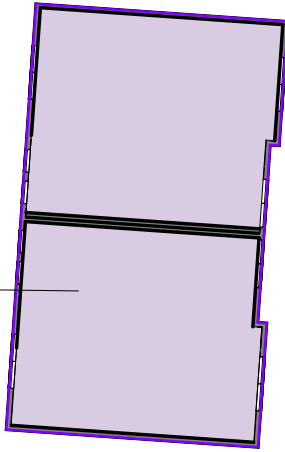


MAIN BUILDING  
19699 SF

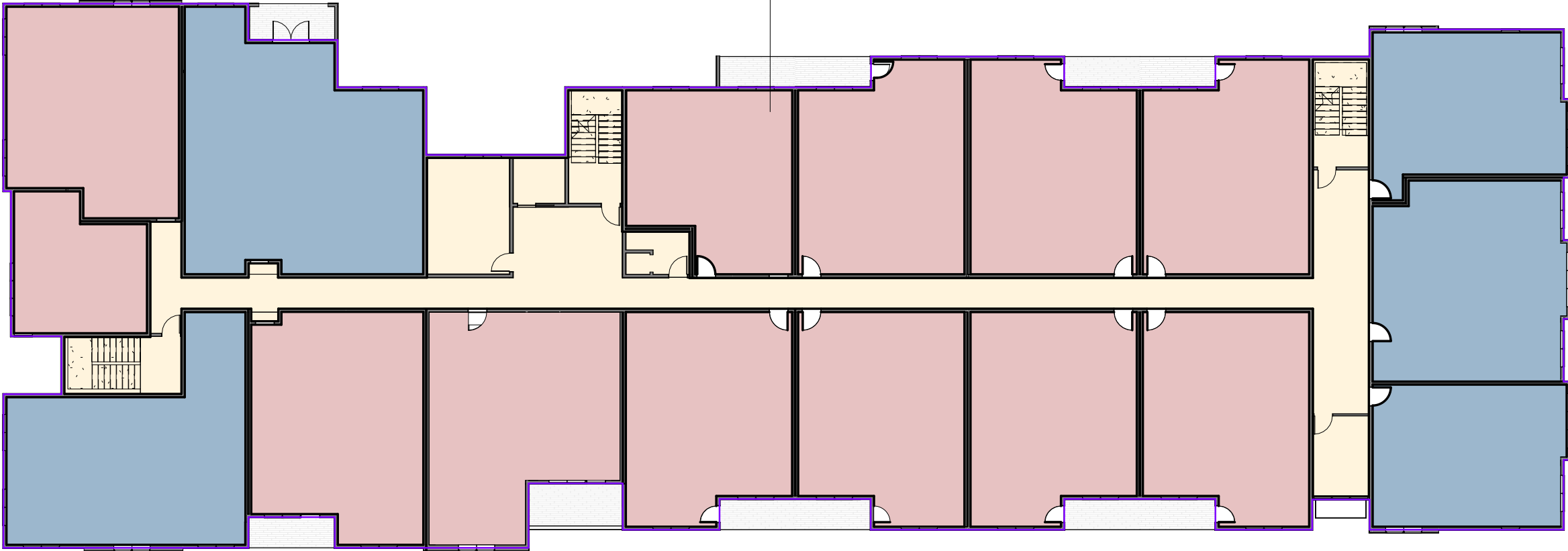


7 01 - First Floor - Proposed Area  
3/64" = 1'-0"

TOWNHOUSE  
1306 SF

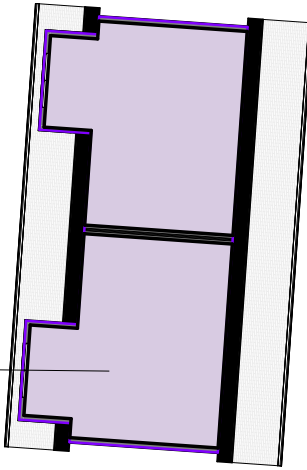


MAIN BUILDING  
19579 SF

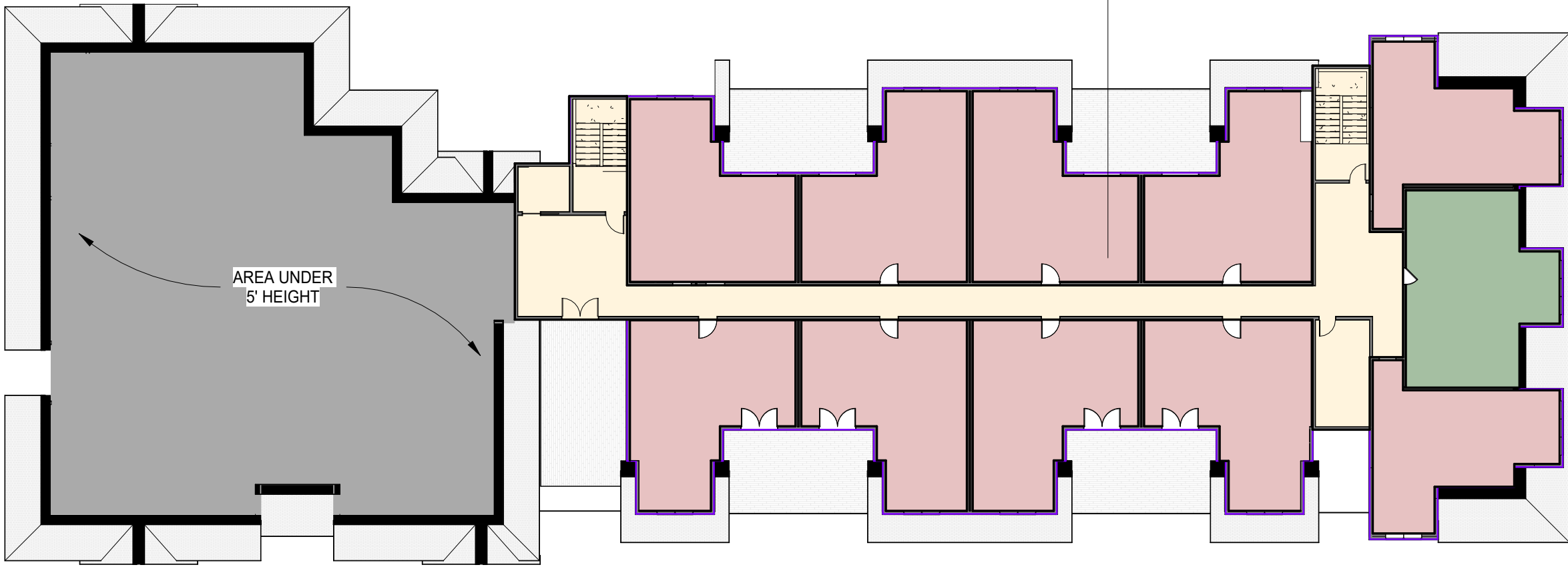


8 02 - Second Floor - Proposed Area  
3/64" = 1'-0"

TOWNHOUSE  
908 SF



MAIN BUILDING  
9791 SF



9 03 - Attic Proposed Area  
3/64" = 1'-0"

APARTMENT COUNT	
LEVEL	Count
1 BED APT	
01 - First Floor	7
02 - Second Floor	12
03 - Attic	10
	29
2 BED APT	
01 - First Floor	6
02 - Second Floor	5
	11
3 BED TH	
01 - First Floor	2
	2
STUDIO	
03 - Attic	1
	1
TOTAL NUMBER OF UNITS	43

MGD  
HABITAT DESIGN

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277 GREAT RD  
DEVELOPMENT

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FLOOR AREA  
CALCULATIONS

Project number

24-037

Date

08-20-25

Drawn by

LFC

Checked by

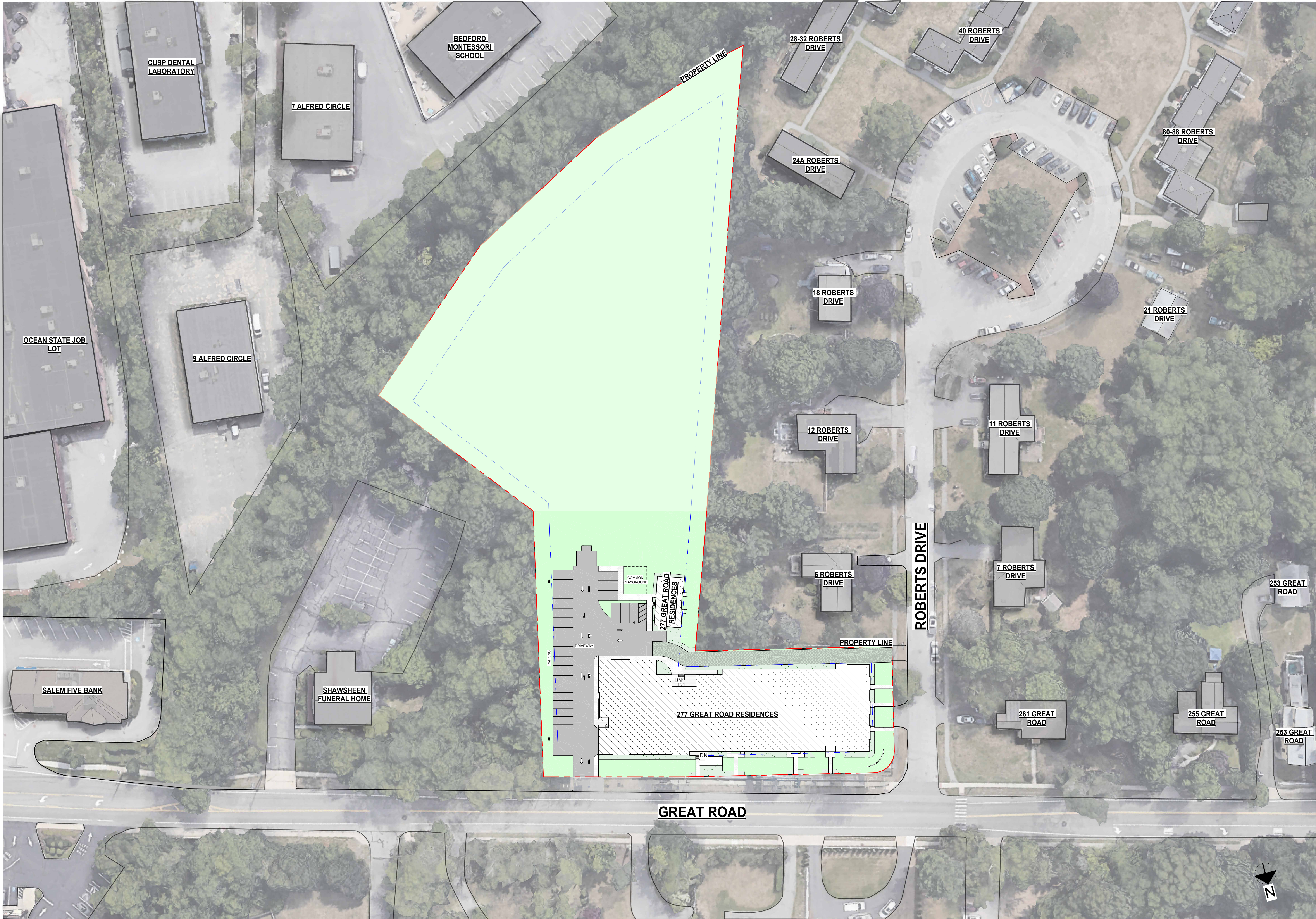
MGD

A0.01

Scale

3/64" = 1'-0"





① 01 - Context Site Plan  
1" = 40'-0"

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SITE PLAN 1-40

Project number

24-037

Date

08-20-25

Drawn by

LFC

Checked by

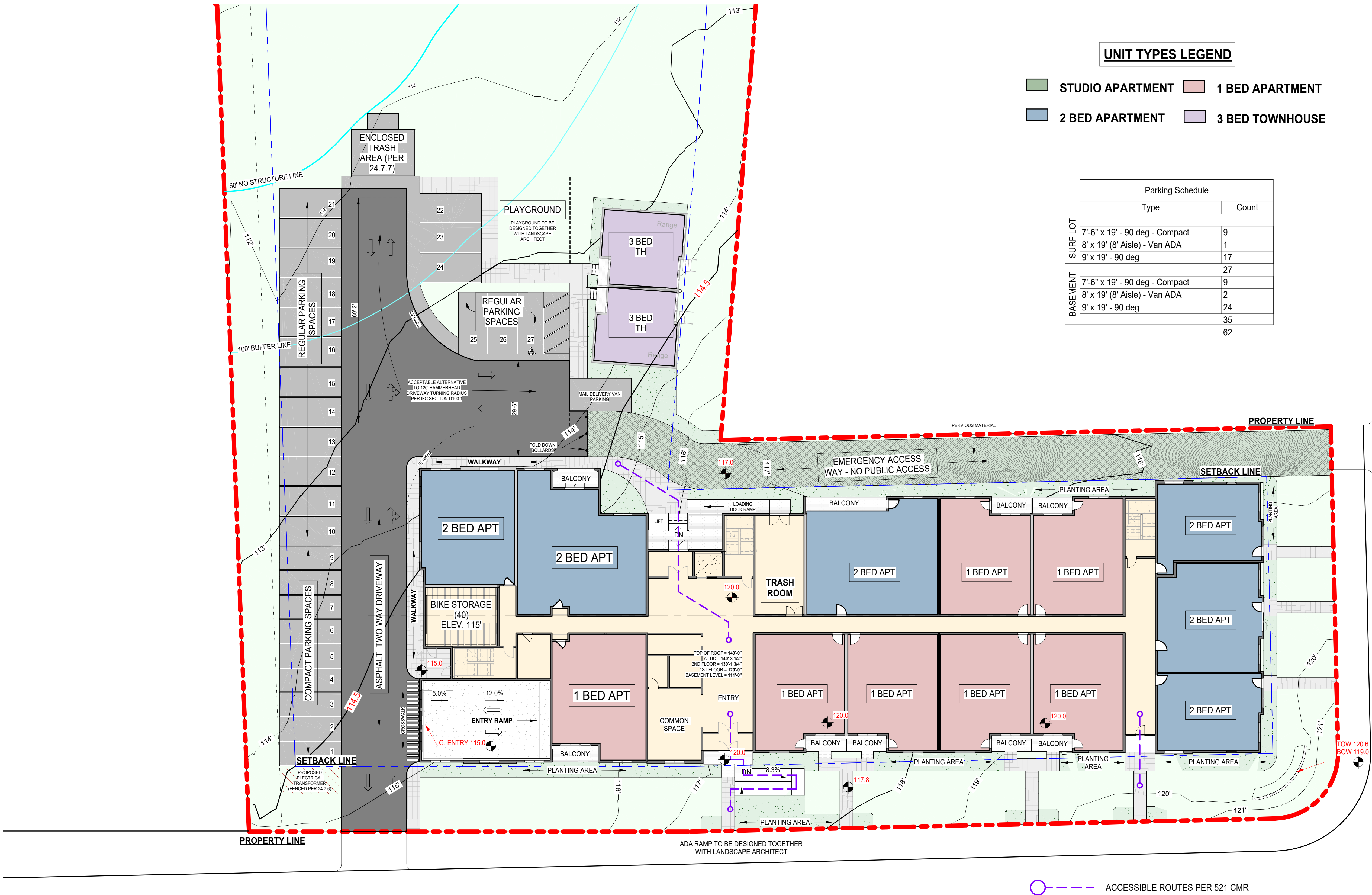
MGD

A1.00.1

Scale

1" = 40'-0"

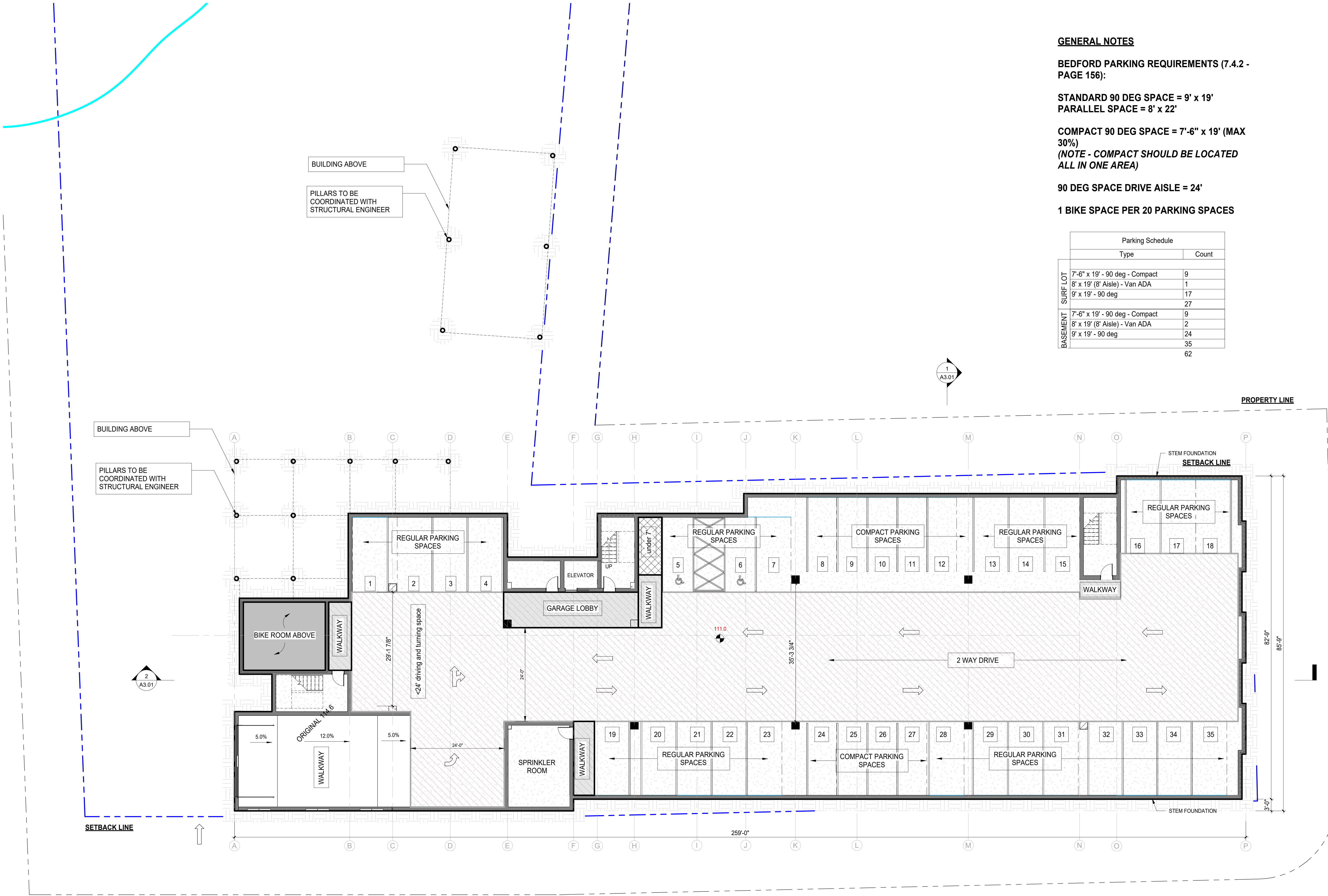




ROBERTS DRIVE

GREAT ROAD





GENERAL NOTES

BEDFORD PARKING REQUIREMENTS (7.4.2 - PAGE 156):

STANDARD 90 DEG SPACE = 9' x 19'  
PARALLEL SPACE = 8' x 22'

COMPACT 90 DEG SPACE = 7'-6" x 19' (MAX 30%)  
(NOTE - COMPACT SHOULD BE LOCATED ALL IN ONE AREA)

90 DEG SPACE DRIVE AISLE = 24'

1 BIKE SPACE PER 20 PARKING SPACES

Parking Schedule		
	Type	Count
SURF LOT	7'-6" x 19' - 90 deg - Compact	9
	8' x 19' (8' Aisle) - Van ADA	1
	9' x 19' - 90 deg	17
		27
BASEMENT	7'-6" x 19' - 90 deg - Compact	9
	8' x 19' (8' Aisle) - Van ADA	2
	9' x 19' - 90 deg	24
		35
		62

PROPERTY LINE

1 00 - Basement  
3/32" = 1'-0"

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BASEMENT PLAN

Project number 24-037  
Date 08-20-25  
Drawn by LFC  
Checked by MGD

A1.01

Scale 3/32" = 1'-0"





UNIT TYPES LEGEND

- STUDIO APARTMENT
- 1 BED APARTMENT
- 2 BED APARTMENT
- 3 BED TOWNHOUSE

APARTMENT COUNT	
LEVEL	Count
1 BED APT	
01 - First Floor	7
02 - Second Floor	12
03 - Attic	10
	29
2 BED APT	
01 - First Floor	6
02 - Second Floor	5
	11
3 BED TH	
01 - First Floor	2
	2
STUDIO	
03 - Attic	1
	1
TOTAL NUMBER OF UNITS	43

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FIRST FLOOR PLAN

Project number 24-037  
Date 08-20-25  
Drawn by LFC  
Checked by MGD

A1.02

Scale 3/32" = 1'-0"



UNIT TYPES LEGEND

- STUDIO APARTMENT
- 1 BED APARTMENT
- 2 BED APARTMENT
- 3 BED TOWNHOUSE

APARTMENT COUNT	
LEVEL	Count
1 BED APT	
01 - First Floor	7
02 - Second Floor	12
03 - Attic	10
	29
2 BED APT	
01 - First Floor	6
02 - Second Floor	5
	11
3 BED TH	
01 - First Floor	2
	2
STUDIO	
03 - Attic	1
	1
TOTAL NUMBER OF UNITS	43



① 02 - Second Floor  
3/32" = 1'-0"

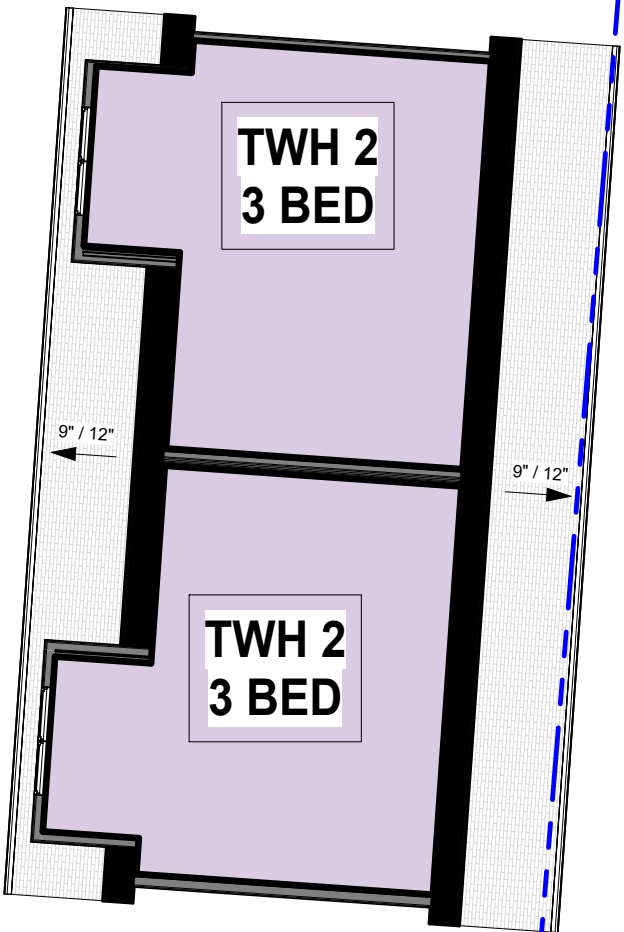


UNIT TYPES LEGEND

- STUDIO APARTMENT
- 1 BED APARTMENT
- 2 BED APARTMENT
- 3 BED TOWNHOUSE

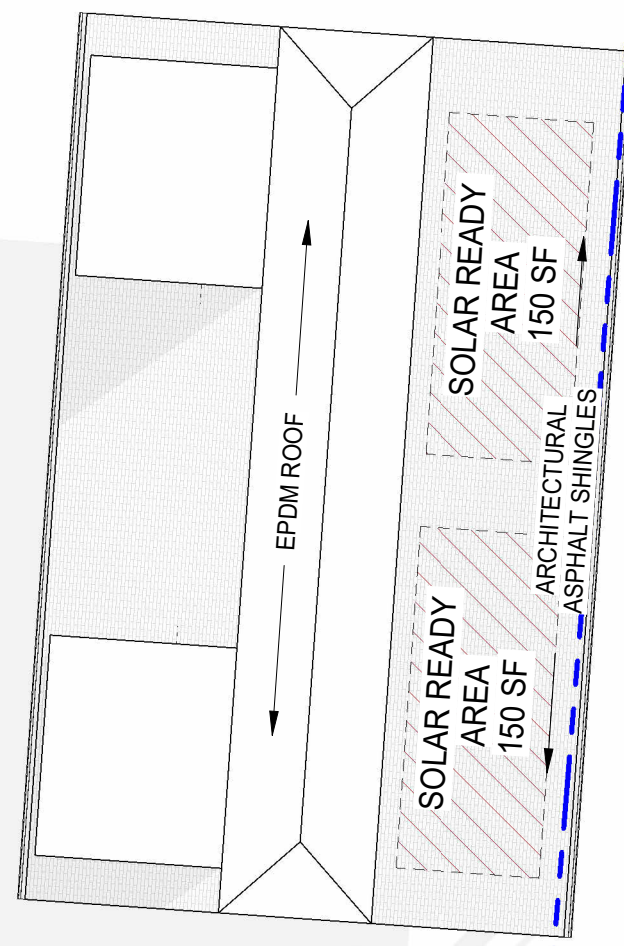
APARTMENT COUNT	
LEVEL	Count
1 BED APT	
01 - First Floor	7
02 - Second Floor	12
03 - Attic	10
	29
2 BED APT	
01 - First Floor	6
02 - Second Floor	5
	11
3 BED TH	
01 - First Floor	2
	2
STUDIO	
03 - Attic	1
	1
TOTAL NUMBER OF UNITS	43

HALF STORY CALCULATION  
AREA @ 5' OR MORE = 9,883 SF  
TOTAL ATTIC FLOOR AREA = 16,775 SF  
  
60% OF 16,775 SF = 10,065 SF  
10,065 SF > 9,883 SF, MEETS 1/2 STORY DEFINITION



1 03 - Attic  
3/32" = 1'-0"





SOLAR READY AREAS

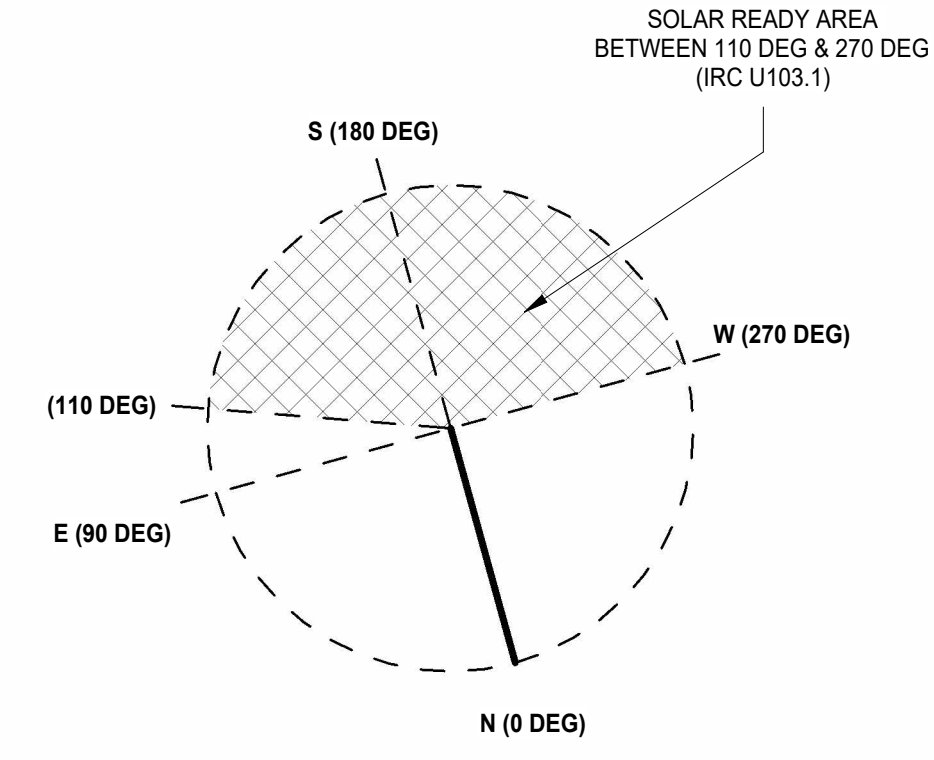
AT103.3 SOLAR READY ZONE AREA. THE TOTAL SOLAR READY ZONE AREA SHALL BE NOT LESS THEN 300 SF EXCLUSIVE OF MANDATORY ACCESS OR SETBACK AREAS AS REQUIRED BY IFC. NEW TOWNHOUSES THREE STORIES OR LESS IN HEIGHT ABOVE GRADE PLANE AND WITH A TOTAL FLOOR AREA LESS THAN OR EQUAL TO 2000 SF PER DWELLING SHALL HAVE A SOLAR READY ZONE AREA OF NOT LESS THAN 150 SF. **\*\*COMPLIANT\*\***

THE SOLAR READY ZONE SHALL BE COMPOSED OF AREAS NOT LESS THAN 5 FEET IN WIDTH AND NOT LESS THAN 80 SF. **\*\*COMPLIANT\*\***

TOTAL SOLAR READY ZONE SF: 300 SF >= 300 SF REQUIRED - U103.3

\*\*\*SOLAR PANEL CONSULTANT TO VERIFY ALL FINAL DETAILS / LOCATIONS\*\*\*

SOLAR READY AREAS	
BUILDING 1	7150 SF (APROX 150 SF PER UNIT)
BUILDING 2	300 SF (APROX 150 SF PER TOWNHOUSE)

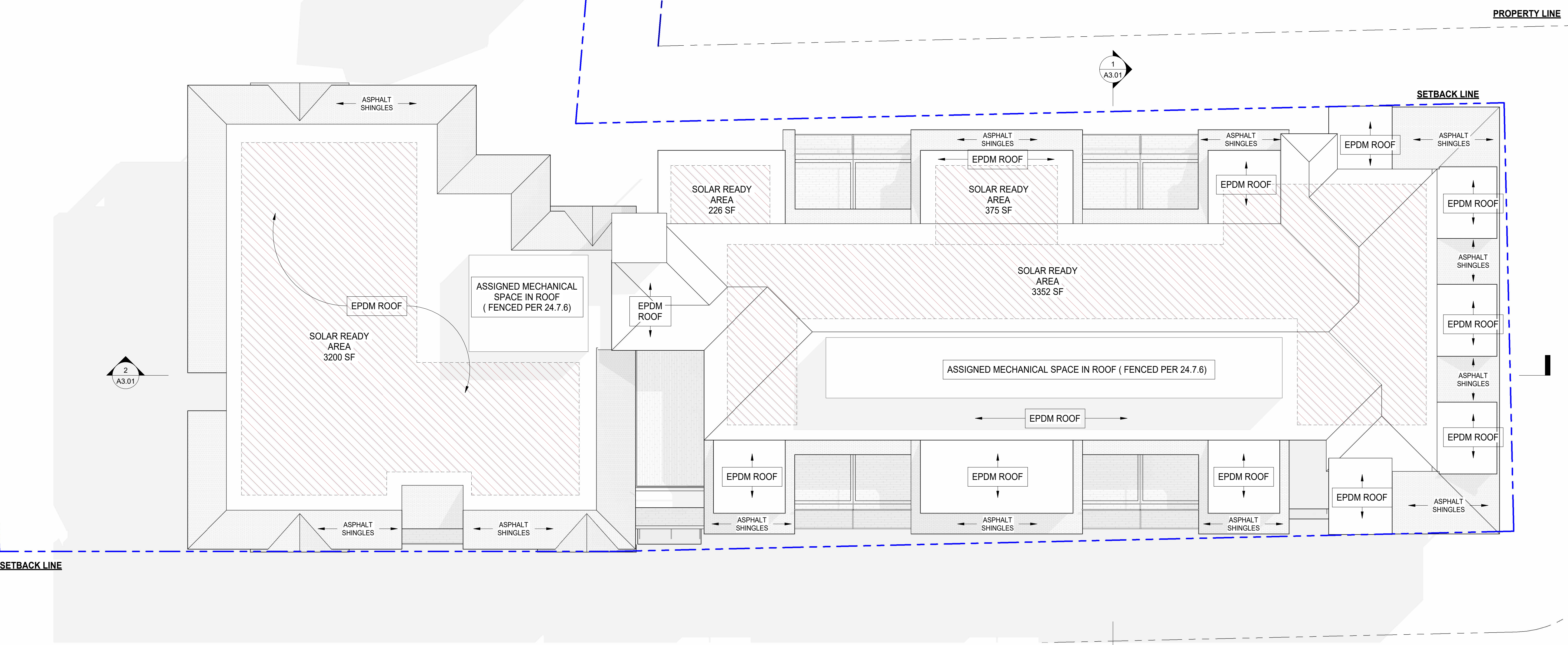


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PROPERTY LINE

① 05 - Roof  
3/32" = 1'-0"

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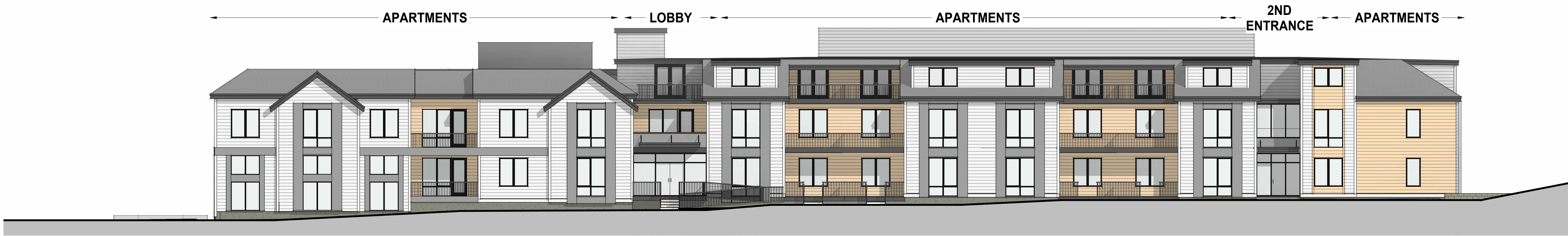
ROOF PLAN

Project number 24-037  
Date 08-20-25  
Drawn by LFC  
Checked by MGD

A1.05

Scale 3/32" = 1'-0"





① Front Elevation  
3/32" = 1'-0"

ELEVATION ON GREAT RD



② Left Elevation  
3/32" = 1'-0"

ELEVATION ON DRIVEWAY



③ Rear Elevation Side  
3/32" = 1'-0"



④ Right Elevation  
3/32" = 1'-0"

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ELEVATIONS

Project number	24-037
Date	08-20-25
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Checked by	MGD

A2.01

Scale	3/32" = 1'-0"
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GREAT ROAD PERSPECTIVE RENDERING



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PERSPECTIVE RENDERING	
Project number	24-037
Date	08-20-25
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Checked by	MGD
A2.03	
Scale	



NEIGHBORHOOD CONTEXT AERIAL RENDERING



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AERIAL RENDERING	
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Scale	